

Report of: Robin Mewes BSc (Hons) MRICS MEWI
 Specialist Field: Residential Surveyor & Valuer
 On: 32 Frederick Street
 On behalf of: Mr Happy

double check - roof end stack with binoculars
 - hidden gutter?
 - air bricks - none next door either
 - tank overflow? - runs to outside cupboard. later up with steel pipe! one emerges between window. All considered?

PRE-INSPECTION NOTES

Additional Services and Special Terms

None (✓)

Refer to Vendor Enquiry Form

None (✓)
 Identify significant matters here and list other issues discussed with the vendor.

Vendor not at home. vendor left enquiry form with estate agent.

Other Investigations

Based on the following checklist (✓) each source noted.

- | | | | | | |
|-----------------|-------------------------------------|------------------|--------------------------|----------------|-------------------------------------|
| Geological map | <input checked="" type="checkbox"/> | OS map | <input type="checkbox"/> | EA particulars | <input checked="" type="checkbox"/> |
| Planning office | <input checked="" type="checkbox"/> | Homecheck | <input type="checkbox"/> | The lease | <input type="checkbox"/> |
| Earlier surveys | <input type="checkbox"/> | Any other source | <input type="checkbox"/> | | |

Note aspects of the following:

- | | | |
|--|-------------------|--------------------------|
| (✓) each relevant item and list others | Exposure | <input type="checkbox"/> |
| | Food risk | <input type="checkbox"/> |
| | Unstable ground | <input type="checkbox"/> |
| | Listed | <input type="checkbox"/> |
| | Conservation Area | <input type="checkbox"/> |
| | Contamination | <input type="checkbox"/> |
| | Earlier work | <input type="checkbox"/> |

Others:
 possibly clay subsoil.

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1. INTRODUCTION

- 1.1 Scope of Instructions
- 1.2 Property Address
- 1.3 Client's Name and Address
- 1.4 Date of Survey
- 1.5 Weather
- 1.6 Limitations of Inspection
(Refer to plans)
 SP2 (occupied), SP3 (unoccupied) and SP4
- 1.7 Information relied upon in this report
(Refer to pre-inspection notes)

Standard BS - no val.
32 Frederick Street, Bristol
Mr Happy, Bristol
19 December 2005
Sunny + dry (light blue look night?)
filled carpets or laminate or tiles. empty.
No formal enquiries or investigations nor any informal local enquiries have been made unless specifically referred to below. Whenever I state that I am advised of a certain point, that advice is obtained from the vendor unless otherwise stated. ✓
The vendors kindly completed a questionnaire. Wherever appropriate within this report I will refer to the advice obtained from that source. ✓

2. DESCRIPTION OF THE PROPERTY

(State sources of information listed in pre-inspection notes)

2.1 Type and Age

- Type
- General design
- Principal elements of construction
- Approximate ages and dates
- Listed status
- Current use

house
terrace
stone / render walls + tile roof
c1850. modern rear extn c1980? earlier?
not
Residential - vacant

2.2 Accommodation

(Refer to plans)

- Layout
- Comment

gf: hall (lobby door removed), kitchen, large and dining room.
 ff: landing, bathroom with w.c. and two bedrooms.

Kitchen and dining room both extended -

2.3 Tenure and Occupation

- For example: "I understand from [.u...] that the property is for sale on a freehold basis with vacant possession"

Vendor

2.4 Further Comments

- Services
 - SP7 (all mains)
 - SP8 (all but gas)
 - SP9 (electricity and water)

3. LOCATION

3.1 Location

(Refer to pre-inspection notes)

- Main features

established residential
close
good
no
- Proximity to road
- General character
- Conservation Area?

3.2 Orientation

(Refer to plans)

- Cardinal point

✓

- Reference to front elevation

✓

3.3 The site and surrounding areas

(Refer to pre-inspection notes)

- General topography and layout

gentle slope from park down street
remote
clay?
none found
none found
- Risks of flooding, erosion etc
- Likely ground condition
- Springs, culverts, retaining walls
- Mining and quarrying

3.4 Local factors

(Refer to plans)

- Adjoining properties

similar
distant road noise
not noticed -
- Nearby nuisance
- Flight paths, railways, industry, smells

3.5 Trees and hedges

(Refer to plans)

- Those that could affect the property

none found.

4. SURVEYOR'S OVERALL ASSESSMENT

4.1 Surveyor's overall opinion (Key issues having considered the following)

- The nature of the property, its condition and its design
- The adequacy of the structural framework and fabric
- Adequacy of services
- Comparison with other similar properties
- Conformity with modern requirements
- Likely scale of maintenance
- Special client requirements

modest late Victorian house
OK subject to attending to decay
dated - renew?
poor
poor
high
—

[SP88 (typical good), SP89 (typical old), SP90 (typical)]

4.2 Areas of concern (Main areas of concern - other than condition)

- Location
- Design
- Structural Framework
- Fabric
- Services
- Nature of construction
- Planning
- Buildings insurance

—
—
chimney
leaks condition related
dr
—
—
—

4.3 Summary of repairs (List and cross reference)

<input type="checkbox"/> 1	rough timbers	9	improve sub floor ventilation
<input type="checkbox"/> 2	debris in gutter	10	plaster repairs
<input type="checkbox"/> 3	parapets	11	joinery incl windows
<input type="checkbox"/> 4	flashings	12	services
<input type="checkbox"/> 5	tiles on bay		
<input type="checkbox"/> 6	derailing at flat roof		
<input type="checkbox"/> 7	repair stacks and breast in loft		
<input type="checkbox"/> 8	render + pointing		

4.4 Cost guidelines [SP already in report]

Complete repair @ 11 Exeter Road
 cost c. £20,000 - use as 'guide'.
 see file reference SP 010231

4.5 Further Investigations

- Electrical
- Heating
- Hot Water
- Plumbing generally

[SP]
[SP]
Add
Add

+ refer to drains.

5. CONSTRUCTION AND CONDITION

5.1 Constructional principles

(Use sketches if complex assessment and consider the following) (SP on breathability in master rep)

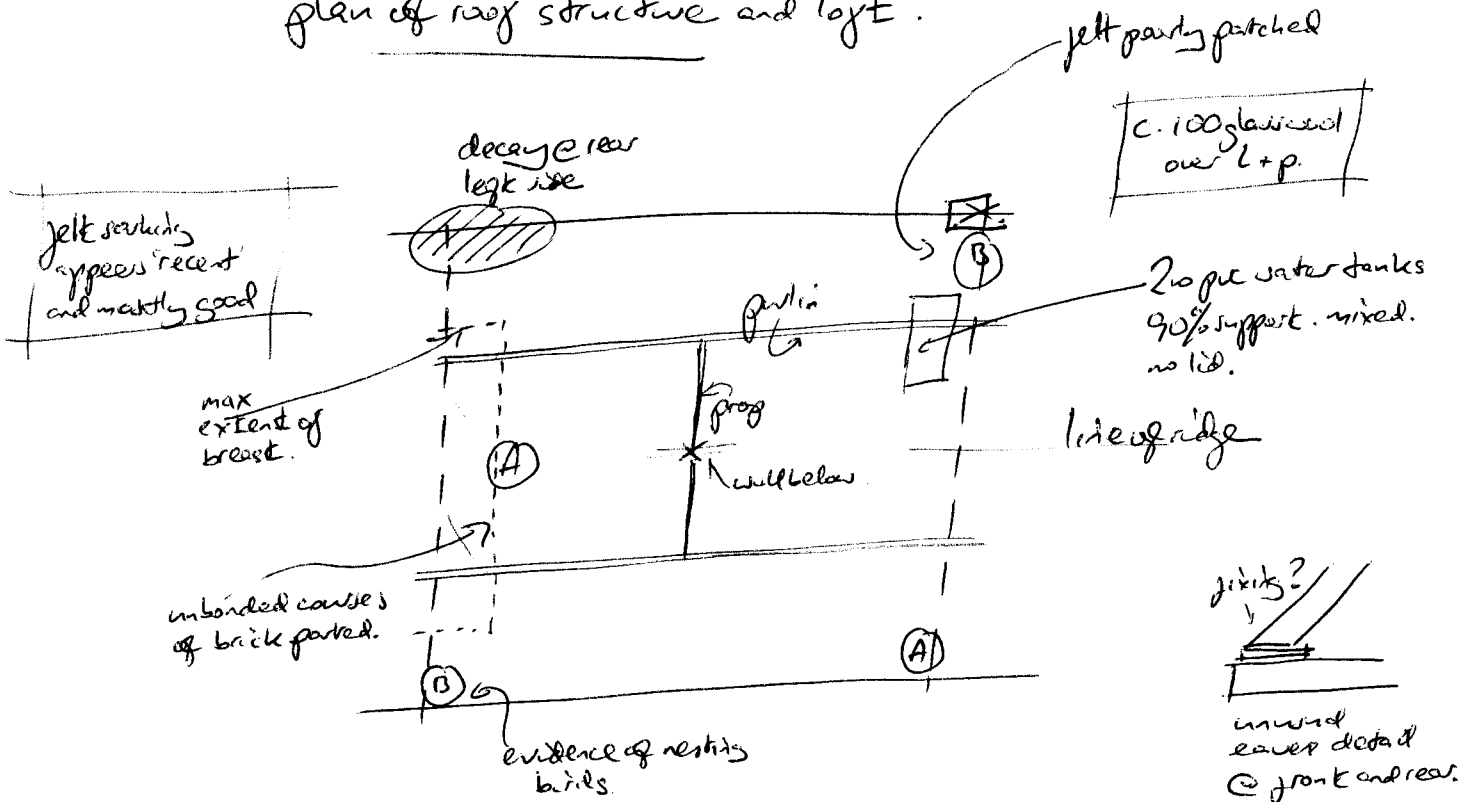
<input type="checkbox"/>	Main loadbearing structures	MASONRY
<input type="checkbox"/>	Lateral restraint	NOT SEEN but no cause to suspect
<input type="checkbox"/>	Load transfer to ground & framing	OK
<input type="checkbox"/>	Flexible or rigid - junctions	flexible
<input type="checkbox"/>	Structural condition (see sketches)	OK
<input type="checkbox"/>	Superstructure adequacy	OK
<input type="checkbox"/>	Substructure adequacy	OK
<input type="checkbox"/>	Future risks	OK after repair
<input type="checkbox"/>	Main defects & matters of concern	neglect and poor earlier 'modernisation'

(In reporting bring out the following aspects)

<input type="checkbox"/>	Old buildings different to new	probably line with 'c/s'
<input type="checkbox"/>	Changes can be detrimental	✓
<input type="checkbox"/>	Old buildings need to breathe	✓
<input type="checkbox"/>	Convey how the building was intended to work	✓

5.2 Structural Frame - floor/roof only (if any - refer to main sketches)

plan of roof structure and loyft.



(A) - Damp brickwork below parapet and/or dry streaks (B) - Patched rafters

- 5.3 Main Roof *pitched - clay double romans*
- 5.4 Other Roof *< felt flat roof*
 (Structure; coverings; valley gutters; rainwater goods; fascias, soffits and bargeboards; roof windows; parapets; flashings; ceilings)

Consider the following matters:

- Condition/life expectancy *OK one repaired*
 - Distortion of structure *not significant*
 - Immediate repair/recovering necessary *flashings etc.*
 - Ventilation, eaves and ridge *none found*
 - Roof windows *none found*
 - Flat roofs and low pitches *appear OK!*
 - Flashings/soakers *pointing*
 - External timbers - soffits, bargeboards etc *timber - OK despite peeling decoration!*
 - Adequacy of valley joints/drips/fall/trees/leaves/blockages *- hidden*
 - Parapet copings/fender/pointing *repair*
 - Dampness below *pointing*
 - Rainwater goods clear *?*
 - Trees/leaves/creepers/blockages/leaks/failure
 - Gullies/blockages/overflowing
 - Structural condition/alteration *- normal, old.*
 - Gable walls/party walls/stacks in loft *- needs repair*
 - Sarking felt/close boarding/daylight/ventilation/condensation *none found*
 - Birds/vermin/bats/wasps/rot/woodboring beetle attack
 - Boards/access/stored items/astbestos
 - Leaks *boiler by ladder*
 - Insulation and linings *normal*
- [SP14 (covering OK), SP15 (typical flat roof), SP16 (felt and trussed rafters), SP17 (bracing and restraint), SP18 (felt), SP19 (no ventilation), SP20 (condensation), SP11 (mortar), SP12 (maintenance), SP13 (hidden chimney gutters)]

*mostly OK
need some
repair*

5.5 Chimney Stacks

[SP10 (typical)]

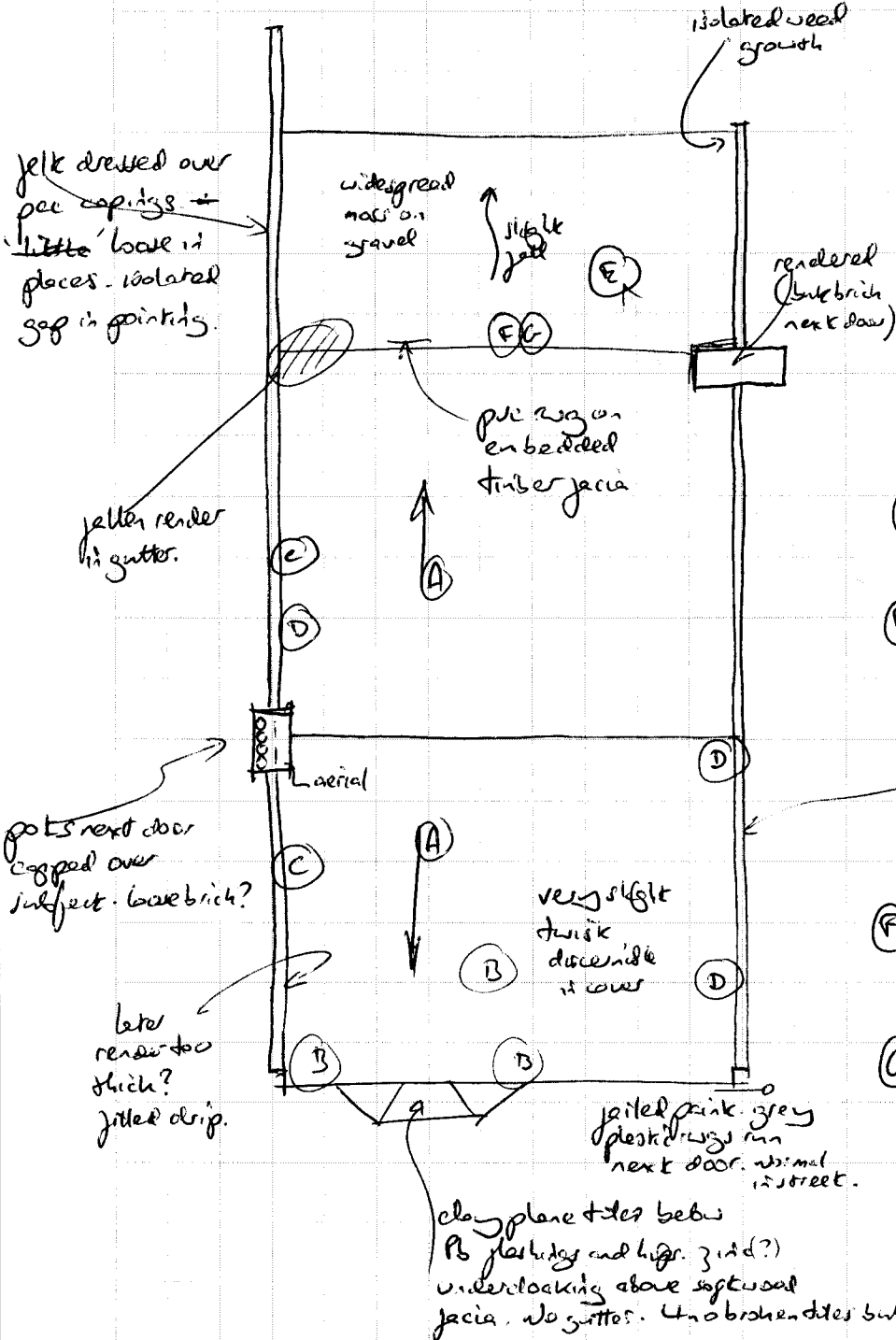
- Height *- OK c 9m @ rear - likely capped - redundant.*
- DPC *none found*
- Leaning *none found*
- Flues capped and vented or open
- Gas terminals *repair @ front - close to plane of wall.*
- Stonework/brickwork/pointing/render/sulphate attack/haunching

OK but occ loose bricks @ top

check + repair.

Roof
Floor Plan - NOT TO SCALE

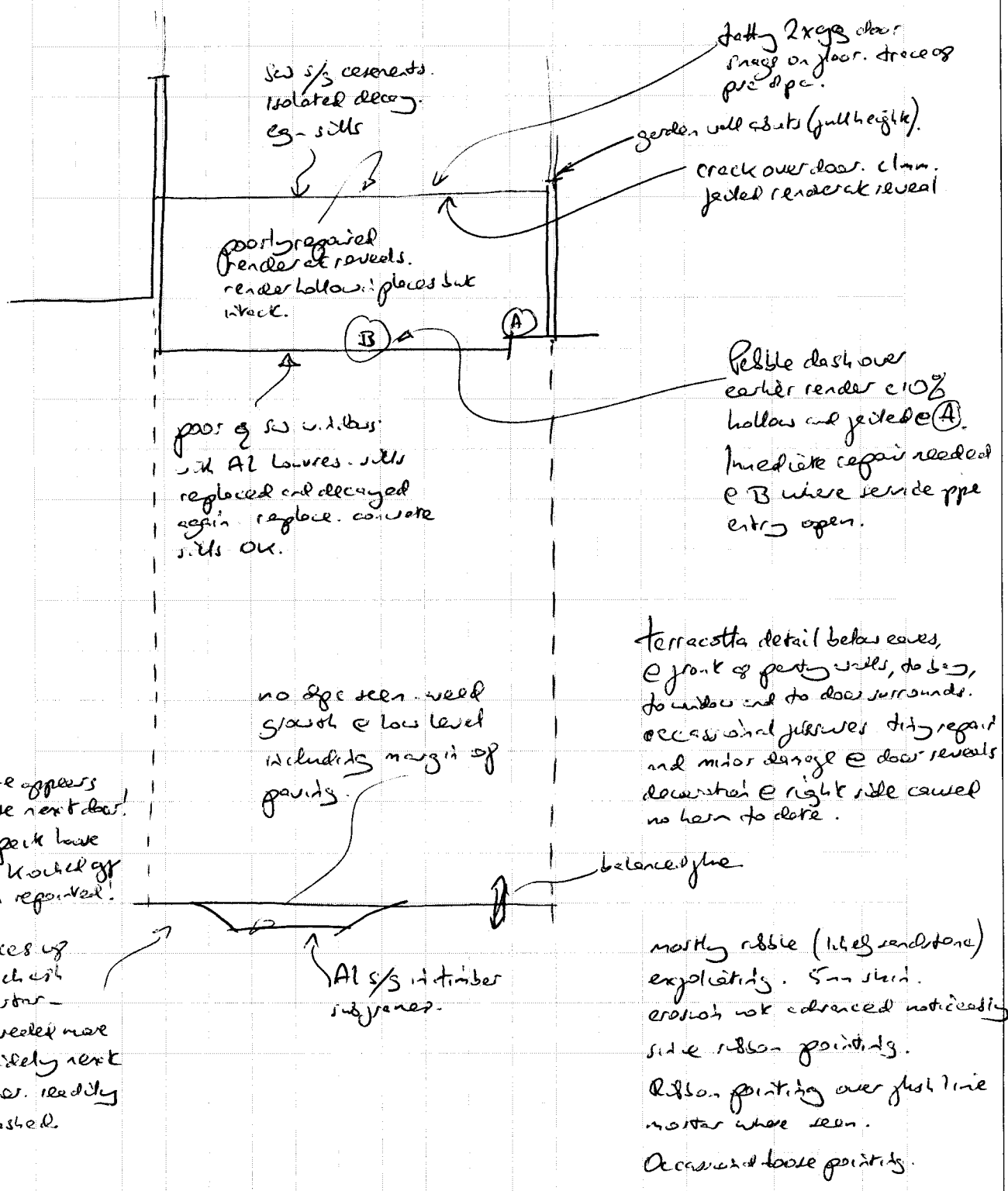
rwgs - rainwater goods
 SW - softwood
 Pb - lead
 pcc - pre cast concrete



- (A) Clay double roman tiles below clay ridge tiles.
- (B) Tiles out of line, lifted or otherwise need adjustment. (approx 3-6).
- (C) Cracked render - worse areas - eg's.
- (D) Flashing missing, slipped or lifted - eg's
- (E) jelt jelt roof. good chippings. no defects seen. E mazi - green > 10 yrs?

g - quality
 s/s - softwood
 su - softwood
 Al - Aluminium

Wall
Floor Plan - NOT TO SCALE



5.6 External Walls

[SP24 (wall ties), SP25 (associated cracking), SP26 (no evidence of failure), SP27 (protected by render), SP28 (external plant growth), SP97 (reconstituted stone)]

- Subsidence/settlement/landslip *none found*
- Heave/bulging
- Degree of movement - BRE Digest 251 *"*
- Render/pointing/brickwork condition *poor - allow to go it.*
- Sulphate attack *stone*
- Cavity insulation/dry lining/single skin walls *weathered but normal terracotta on.*
- Wall tie failure suspected
- Efflorescence
- Specialist report required

5.7 Damp Proof Course *hidden? trace of pvc to extension infected due to rear end bay.*

5.8 Sub-Floor Ventilation

[SP31 (none found), SP32 (bitumen), SP33 (plastic), SP34 (no sub-floor), SP35 (sub-floor OK)]

- Location/ground levels/internal floor level *close but on.*
- Tanking *none found*
- Injection holes visible *"*
- Sub-floor ventilation adequate/duct through solid floor *single vent*

5.9 Internal Walls and Partitions *see check like S.13. mostly solid*

5.10 Fireplaces and Chimney Breasts

[SP57 (breast removed, no support, no problem found), SP58 (lack of ventilation), SP59 (flues not inspected)] *rear bedroom*

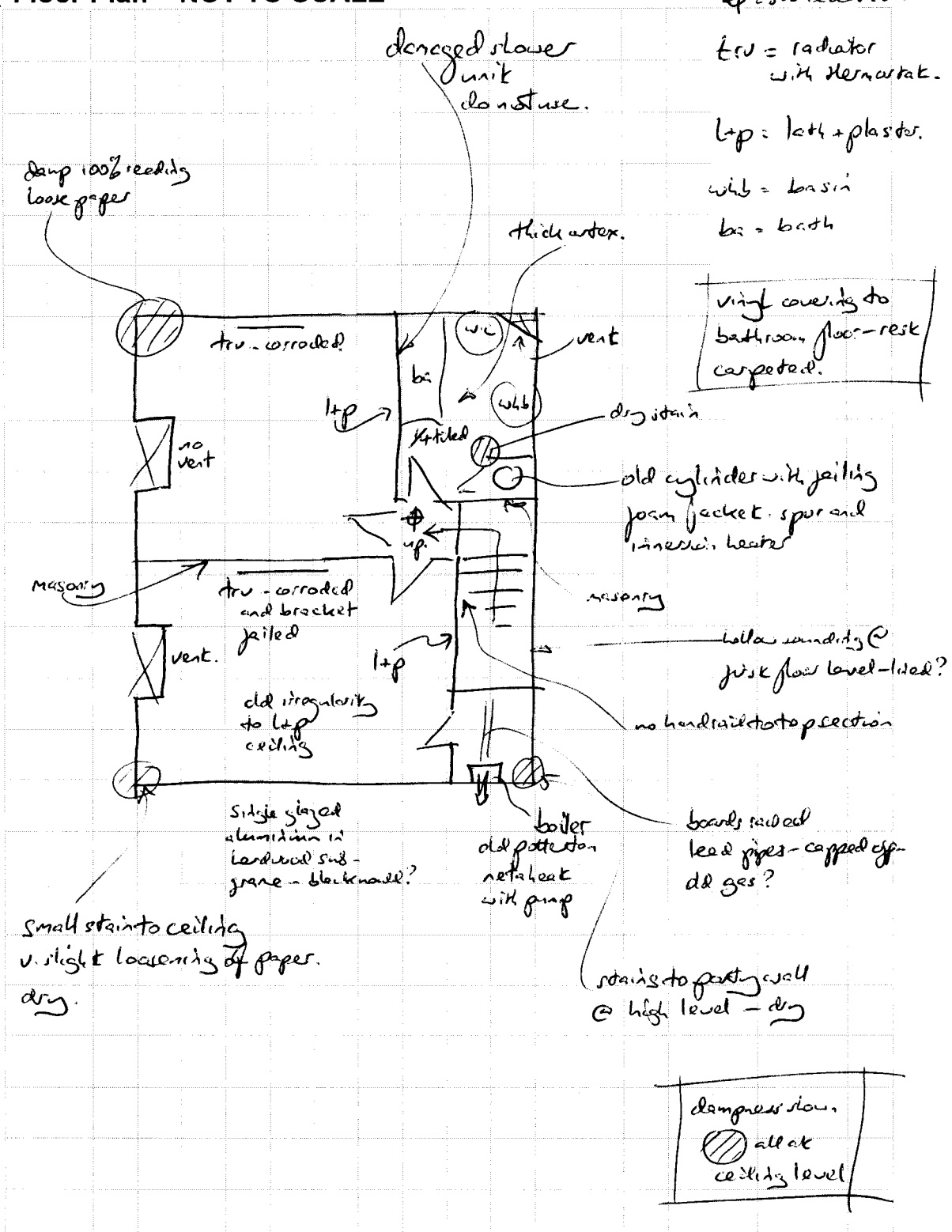
- Fireplace/surrounds/hearths *using reconstituted stone tiling.*
- Gas fires/back boilers/ventilation
- Flue liners (no inspection) *none found*
- Vent sealed flues *with*
- Damp/condensation *none found*
- Support for breasts where removed below

5.11 Cellars and Vaults

[SP5 (none found)]

- Use/underground room/habitable
- Degree of damp/ventilation/condensation
- Possibility of flooding/sump pump
- Natural light/internal access/external access
- Structural movement
- Pipework/services
- WW/decay/dry lining

First Floor Plan – NOT TO SCALE



5.12 Floors

[SP46 (hidden areas), SP47 (suspended and solid areas OK), SP48 (prudent sub-floor inspection), SP49 (recommended sub-floor inspection)]

- Structural movement/slope/cracks/spring/hogging *none found*
- Ventilation *v-pour and damp in parts!*
- WW/decay *likely!*
- Age? DPM? *argued in 20 yrs/part?*
- Carpets/hardboard sheathing/tiling *fatty*
- Underfloor inspection *could see very little @ raised board. boards jammed in not well.*
- Damp *high risk*
- Further inspection recommended ✓
- Sulphate attack *none found*

5.13 Ceilings

[SP41 (*mostly* lath and plaster ceiling), SP42 (plasterboard with shrinkage), SP43 (new plaster with shrinkage), SP44 (historic distortion), SP45 (internal walls in good order)]

- Distortion *not significant.*
- Cracks *minor*
- Lowered/suspended ceilings *none found*
- Altered structure *extension.*
- Period features *cornice in lounge*
- Key *on where 'painted'*
- Stains *on plans*
- Settlement/subsidence *none found*
- Finishes *fatty*

5.14 Windows, Doors and Joinery

[*door mix* Windows; external doors; internal doors; stairs; skirting boards and architraves; kitchen cupboards; other cupboards (Refer to external sketches and associated notes)]

[SP60 (stairs), SP61 (handrail and guarding), SP62 (kitchen units), SP38 (softwood maintenance), SP65 (good), SP66 (fixtures, fittings and furnishings), SP39 (good order), SP40 (dilapidated)]

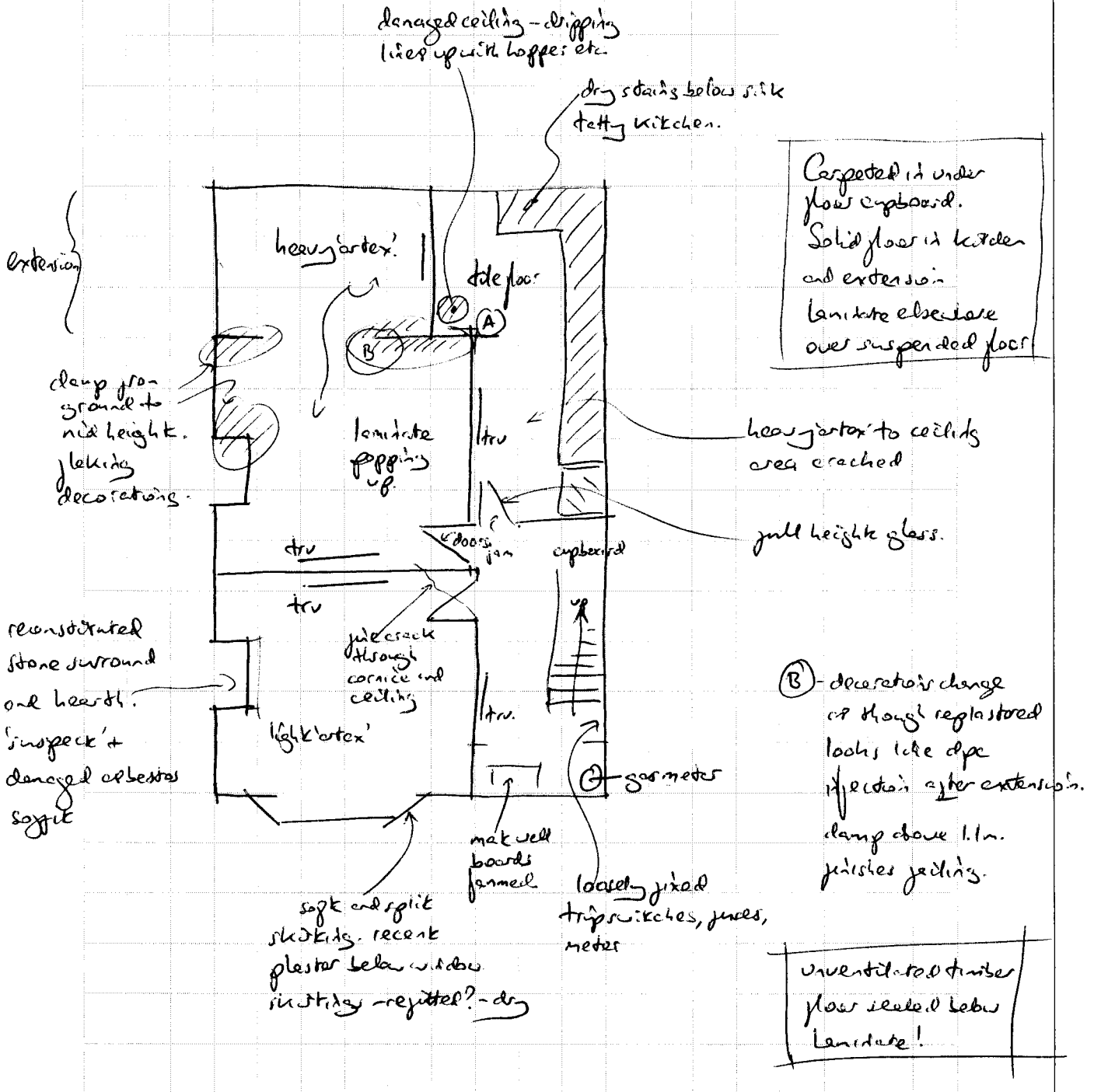
- Ill fitting/ease and adjust *see drawings.*
- Double glazing/interstitial condensation
- Secondary glazing
- Guarantees for new windows
- Open windows where possible ✓
- Stairs, built-in fittings and kitchen fittings *1/10*
- Include secondary glazing
- DIY standard *some*
- WW/rot *loft*
- Ironmongery generally *some damage*
- Fire doors/compartimentation
- Woodchip/textured ceiling finishes/polystyrene tiles
some noted

*Large down glazing
doors + windows very window
ills @ or below 700mm.*

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Ground Floor Plan - NOT TO SCALE

(A) - drylined corner - duct?



5.15 Finishes and decorations
 (Note external features on plan)

- Decay/rot/rust
- Poor detailing *poor*

5.16 Dampness
 (Note significant moisture readings on sketch)

[SP50 (none found), SP51 (condensation), SP52 (moderate and typical)]

- Rising *in dining room - remedied in bag?*
- Penetrating *in bedrooms and kitchen and loyle.*
- Condensation *in front bedroom*
- Leaks, trapped and displaced moisture
- Salt contamination *none found dining room.*
- Specialist report required of check guarantees ?

5.17 Timber Defects
 (Note significant defects, inside and out, on sketch)

[SP53 (no rot), SP54 (no woodworm), SP55 (no woodworm or rot), SP56 (guarantees), SP96 (full advice)]

- Locations *decay in loyle - replace/repair - white rot | isolated juggle holes*
- Specialist report or check guarantees
- Unseen areas *ground floor. flat roof. open up. | loyle - no grass*

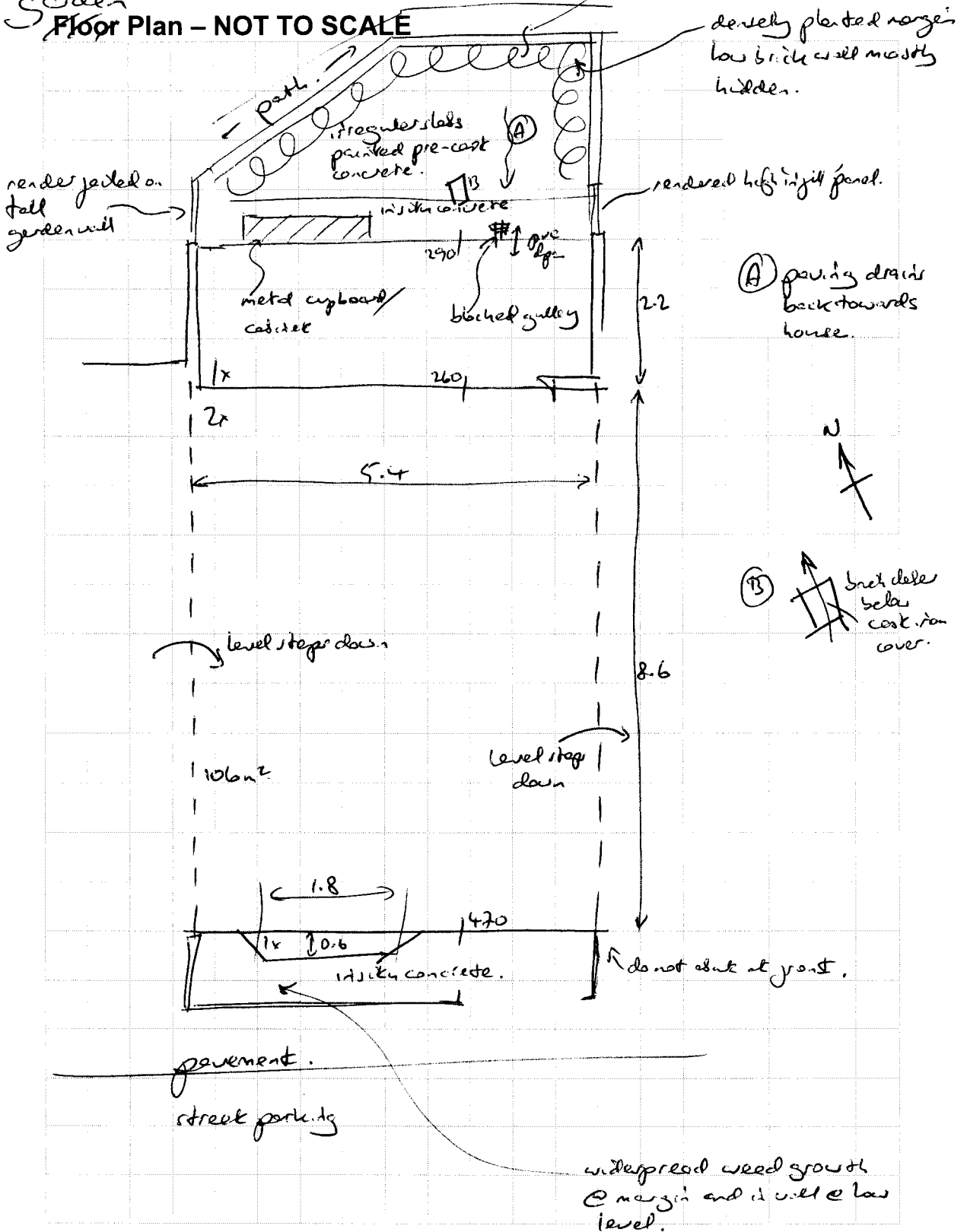
5.18 Structural Movement
 (Note significant movement inside and out, on sketch)

none found but stability threat in loyle.

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minor damage here
 but more 100% elsewhere
 will OK.

Siden
Floor Plan - NOT TO SCALE



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 Tel: 01934-712826 Fax: 01934-710139 E-mail: clifton@alliedsurveyors.com

6. SERVICES
[SP67 (introduction)]

6.1 Electrical

[SP68 (further advice), SP69 (test every five years)]

- Meter/consumer unit location *hall*
- Earthing/cross bonding *poor*
- Date of last test/rewire *old*
- Visible defects/dangers *poorly sited fittings*
- Age and general condition of installation *c 20/30 yrs.*

6.2 Gas

[SP70 (no gas), SP84 (gas installations not tested)]

- Meter location *hall*
- Likely age *?*
- Obvious problems/smells *none found*

6.3 Water Supply and Plumbing

stop tap below not well?

6.4 Private Water Supplies

? hidden?

[SP63 (sanitaryware), SP72 (lead pipework), SP73 (copper and plastic system, no problems), SP74 (hidden problems may become manifest), SP80 (plastic tanks in loft)]

↑ do.

- Mains cold supply *mixed pass pipe be below - dry*
 - Cisterns - material/condition/lagging/support/damp stains/lid/overflow *none*
 - Pipework/age/composition - electrolytic action *ok*
 - Water pressure (comment if water off) *ok*
 - Leaks/contamination *none found*
 - Waste fittings *ok*
 - Stopcocks *not found*
- very hard to trace unnecessary complex.*

6.5 Hot Water Installations, Boilers, Control Equipment, Space Heating etc

[SP93, (test), SP75 (not operating), SP76 (no major defects)]

- Tests recommended ✓
- Fuel/type *gas*
- Heating etc (off or 'on' - ask owner to turn on *is one lone*)
- Condition of boiler/cylinder/radiators (visual only) *old/dirty/corroded*
- Boiler location - satisfactory/dangerous/ventilation *probably needed*
- Water temperature/pressure
- Pipes buried in concrete *none found*
- Apparent age of installation *> 10 yrs*

6.6 Drains

6.7 Foul and Surface Water

at least part considered.

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6.8 Private Drainage System

[SP79 (none found), SP81 (shallow depth), SP82 (possible leakage)]

- Foul SW *curtition cover at rear*
- Covers lifted *(not flat)*
- Proximity of trees *on*
- Blockage/sluggish flow *on*
- Pavings sunken over *a*
- Drains test/CCTV scan *✓*
- Cesspits/septic tanks *none found*
- Proximity of water course and buildings *,*
- Pumping, piping and access *,*
- Maintenance and emptying
- Implications for renewal
- Soakaways *none found*

6.9 Other

Oil Installations
[SP71 (corroded tanks)]

Burglar Alarm
[SP78 (not tested)]

Smoke Detectors *2x*
[SP77 (new installation)]

Also vacuum systems; stairlift/handicapped hoist; remote control garage doors; warden call systems; entry phones; communal lift; generators; TV and radio installations.



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7. ENVIRONMENTAL AND OTHER ISSUES

7.1 Orientation and Exposure

faces south west.

7.2 Thermal Insulation and Energy Efficiency

(Consider holistically and bear in mind ventilation; heating and lighting systems)

[SP64 (advancing standards)]

- Loft c 100mm.
- Windows 1/3
- Floors ? timber
- Walls - take care - not timber frame and cavity fill none found
- Cylinder damaged
- Tanks poor
- Pipework poor

7.3 Ventilation

- Natural, passive and rapid ventilation leakage past louvers, but over all poor
- Ventilation of the building fabric

7.4 Noise and Disturbance

(including smells - refer to 3.4) none found

7.5 Means of Escape

- Escape windows and doors none found
- Escape routes normal
- Loft conversions and upper storeys

7.6 Other Health and Safety Concerns

- Low handrail
- Low headroom
- Steep stairs
- Low opening windows glazed.
- Ponds
- Drops
- Hazardous roads/access
- Others

7.7 Hazardous Materials

- Asbestos [SP101] ^{soffit}
- Mould [SP102] front bedroom.

7.8 Security

- Door locks poor.
- Window locks
- Security alarm



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8. Outbuildings, Grounds and Boundaries
 (Refer to plans)

[SP83 (general)]

8.1 Gardens and Grounds

- Brief general description *normal small plot.*
- Pavings and fences *fence*
- Steep slopes *none found*
- Steps *"*
- Driveways *"*

~~**8.2 Garages**~~

~~**8.3 Conservatories**~~

~~**8.4 Other Outbuildings**~~
 (Refer to sketches)

Location and Construction:

- Structural movement
- Other significant defects
- Where Listed take particular note of pre 1948 structures

8.5 Boundaries

- General description *see plan.*

~~**8.6 Retaining Walls**~~

- General description *none found*

~~**8.7 Shared Areas**~~

- General description *"*
- Extent of inspection

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9. Matters for Legal Adviser's Attention

[SP6 (freehold), SP92 (NHBC)]

9.1 Statutory

- Listed/Conservation area
- Tree Preservation Orders
- Planning consents and Building Regs [SP87 (statutory requirements)]
- Party Wall etc Act 1996

9.2 Rights of Way, Easements and Shared Services

- Tenure E/W
- Flying freeholds
- Multiple occupation, tenancies or holiday lets
- Trespass
- Rights of way
- Private services
- Adoption status of roads and pavements
- Private access roads or footways
- Service connections
- Rights of light
- Restrictions to occupation

9.3 Boundaries

- Evidence of poorly defined boundaries

9.4 Environmental

- Contamination
- Development
- Coal mining [SP85 (mining)]
- Radon [SP100 (radon)]

9.5 Guarantees

- NHBC etc
- Structural work
- Timber and damp
- Wall tie
- Double glazing
- Wall insulation
- Service installations
- Building repairs

